

Sheet Abbreviations

- COL = Column
- M.L. = MicroLam Beam
- Ext = Exterior
- SL = Side Light
- SQ. FT. = Square Feet
- WD = Wood
- WC = Water Closet (Toilet)
- F.F.E. = Finish Floor Elevation
- Elev = Elevation
- D/W = Dishwasher
- C.O. = Casework Opening
- Typ. = Typical

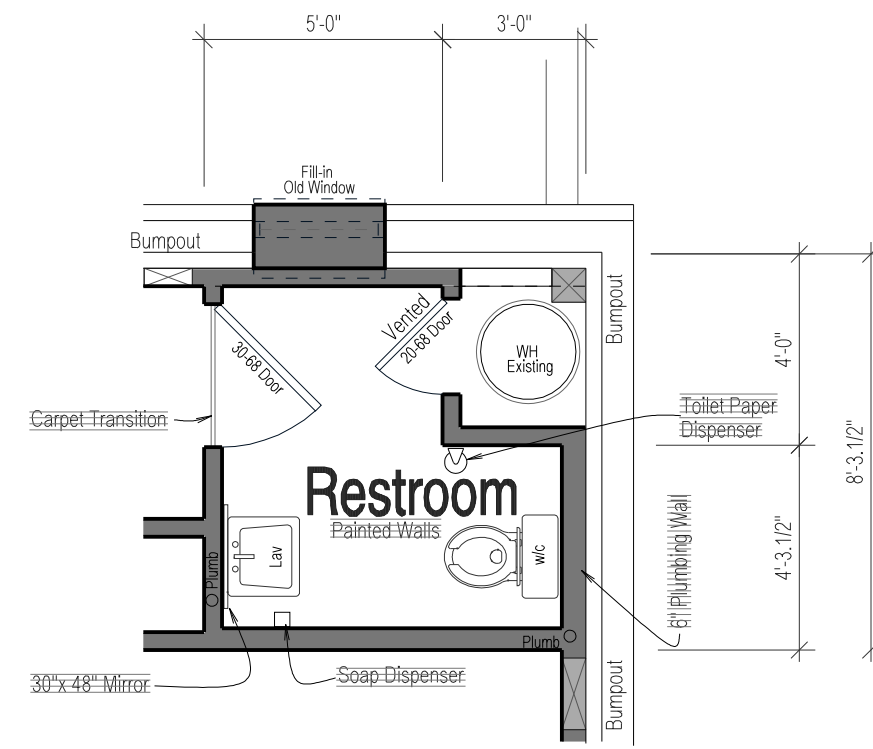
Legend

- = Existing Wall
- = New 2"x4" or 2"x6" Wood Stud Wall
- = Existing Wall or Fixture to be removed
- = New 2"x4" or 2"x6" Wood Stud Wall w/ 3.5" R-13 Batt Insulation
- = Entry above floor or Cig Line
- = Existing Duplex Electrical Outlet
- = Existing Electrical Light Switch

All items in Green color provided by leasee

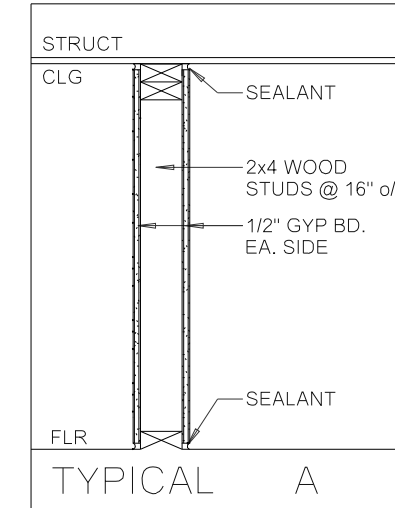
GENERAL CONSTRUCTION NOTES:

1. ALL DIMENSIONS SHOWN ON FLOOR PLANS FOR GYPSUM WALLBOARD STUD PARTITIONS SHALL BE FACE OF STUD UNLESS CENTER LINE DIMENSIONS ARE INDICATED OR UNLESS NOTED OTHERWISE.
2. EXTERIOR DIMENSIONS SHALL BE TO FACE OF STUD, CENTER OF COLUMNS, EXPANSION JOINTS UNLESS NOTED OTHERWISE.
3. SLOPE ALL FLOORS WITH DRAINS TO FLOOR DRAINS (TYPICAL).
4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND NOTIFY PROJECT MANAGER OF ANY DISCREPANCIES.
5. ALL PERIMETER GRADING ALONG ALL BUILDING STRUCTURES SHALL SLOPE AWAY FROM STRUCTURE.
6. GENERAL CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND CURRENT BUILDING CODES AND REGULATIONS.
7. ALL PLANS SHALL BE CONSIDERED COMPLEMENTARY TO EACH OTHER. THE CONTRACTOR SHALL REFER TO THE MECHANICAL, PLUMBING AND ELECTRICAL DOCUMENTS FOR ANY THING WHICH IS REQUIRED OR BINDING BY ONE DISCIPLINE SHALL BE AS IF REQUIRED BY ALL.
8. THE INTENTION OF ALL DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK.
9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL WORK CONCERNING PROVISIONS FOR AND INSTALLATION OF EQUIPMENT NOTED NOT IN CONTRACT. HE SHALL COORDINATE ALL THESE ITEMS WITH THE PROJECT OWNER.
10. ALL VERTICAL CEILING DROP FINISHES SHALL MATCH ADJACENT FINISHES.
11. ALL FINISH CEILING HEIGHTS SHALL BE AS INDICATED UNLESS MECHANICAL, ELECTRICAL OR STRUCTURAL COMPONENTS PREVENT FULL HEIGHT. CEILING HEIGHTS SHALL BE COORDINATED WITH OWNER MANAGER AT THIS TIME.
12. WHEN DEMOLITION AND/OR RENOVATION REQUIRES ACCESS TO CERTAIN AREAS OUTSIDE THE LIMITS OF WORK, SUCH AS CEILING OR FLOOR BELOW, THE CONTRACTOR SHALL CONTACT THE OWNER OR PROJECT MANAGER BEFORE ACCESS IS MADE. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED EXISTING MATERIALS OR EQUIPMENT CAUSED BY THE ACCESS PROCESS.
13. ALL WALLS REQUIRING REPAINTING SHALL BE PATCHED, FILLED AND SANDED TO RECEIVE NEW FINISH. THE ENTIRE WALL SHALL THEN BE FINISHED OR PAINTED CORNER TO CORNER TO PRESENT A FINAL NEAT, CLEAN & COMPLETED JOB WHERE ANY WALL BASE IS FOUND TO BE LOOSE OR MISSING IT SHALL BE REPLACED TO MATCH EXISTING OR REGLUED TO SUBSTRATE. (AREAS WHERE NEW CONSTRUCTION OR RENOVATION HAS EFFECTED SURFACES).
14. ALL WALL OPENINGS SHALL RECEIVE DOUBLE STUD FRAMING.
15. ALL DEMOLITIONED MATERIAL BECOMES THE PROPERTY OF THE GENERAL CONTRACTOR AND SHALL BE REMOVED FROM THE SITE PRIOR TO CONSTRUCTION. ALL DEMOLITIONED FIXTURES, MILLWORK, EQUIPMENT AND ETC., SHALL BE COORDINATED WITH THE OWNER OR PROJECT MANAGER PRIOR TO ACTUAL DEMOLITION. OWNER HAS THE RIGHT TO FIRST REFUSAL.
16. PLANS AND/OR SPECIFICATIONS PROVIDE ALL INFORMATION WITH WHICH COMPLIANCE CAN BE DETERMINED FOR THE BUILDING ENVELOPE AND DOCUMENT WHERE EXCEPTION TO THE STANDARDS ARE CALIMED.
17. G.C. TO PROVIDE (3) A-10-B-C PORTABLE TYPE FIRE EXTINGUISHERS LOCATED IN BUILDING - MOUNTED AT ADA ACCESSIBLE HEIGHT.



New Powder Rm Plan
Scale 3/8"=1'-0"

INTERIOR PARTITION TYPES



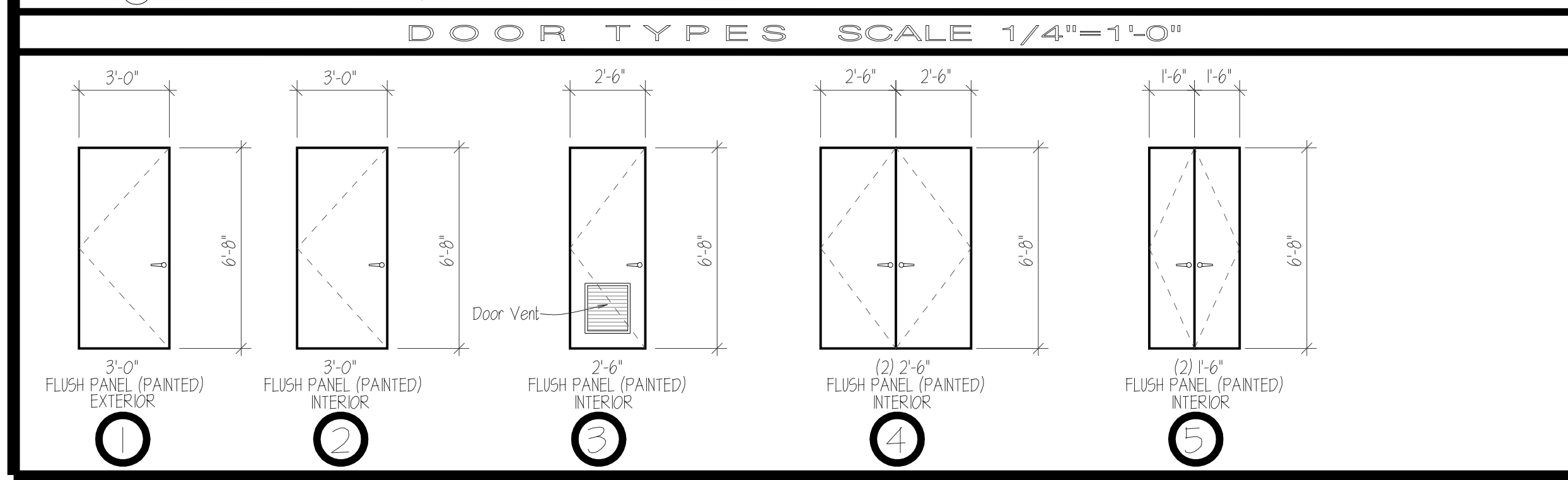
Dimensional Floor Plan

Scale 1/4"=1'-0"

DOOR HARDWARE		
DOOR	EQUIPMENT	SPECIFICATION
1	LOCKSET, HINGES, CLOSER, THRESHOLD	SCHLAGE D SERIES EXTRA HEAVY DUTY COMMERCIAL, MODEL NO. (SEE BELOW), 630 FINISH (3) MCKINNEY TA2174 US92D FINISH NORTON #830 (RESTROOM) VERIFY W OWNER
		*** Bathroom - D405 Storage - D00P Office - D10P

DOOR TYPE SCHEDULE													
DOOR NO.	DOOR			GLASS	DOOR TYPE	FRAME	MANUFACTURER		FIRE RATING		REMARKS		
	SIZE	MAT.	INT/EXT				NAME	TYPE	LABEL	CONST			
1	3'-0"	6'-8"	13/4"	STL	EXT	-	1	HM	ANY	HM EXTERIOR DOOR	-	-	U FACTOR = 0.20
2	3'-0"	6'-8"	13/8"	HC	INT	-	2	HM	ANY	HM INTERIOR DOOR	-	-	MANUFACTURER CHOSEN BY OWNER
3	2'-6"	6'-8"	13/8"	HC	INT	-	3	HM	ANY	HM INTERIOR DOOR w/VENT	-	-	MANUFACTURER CHOSEN BY OWNER
4	(2) 2'-6"	6'-8"	13/8"	HC	INT	-	4	HM	ANY	HM INTERIOR DOOR	-	-	MANUFACTURER CHOSEN BY OWNER
5	(2) 1'-6"	6'-8"	13/8"	HC	INT	-	4	HM	ANY	HM INTERIOR DOOR	-	-	MANUFACTURER CHOSEN BY OWNER

Note: Provide all exterior doors with thresholds with rubber gaskets and sweeps
 Note: See Plans for Swing and HAND.
 ○ = Door indication Mark on floor plans.



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Construction Document for
City of Nicholson, GA
 Accessory Building
 5488 Hwy 441 S
 Nicholson, GA 30565

Seal

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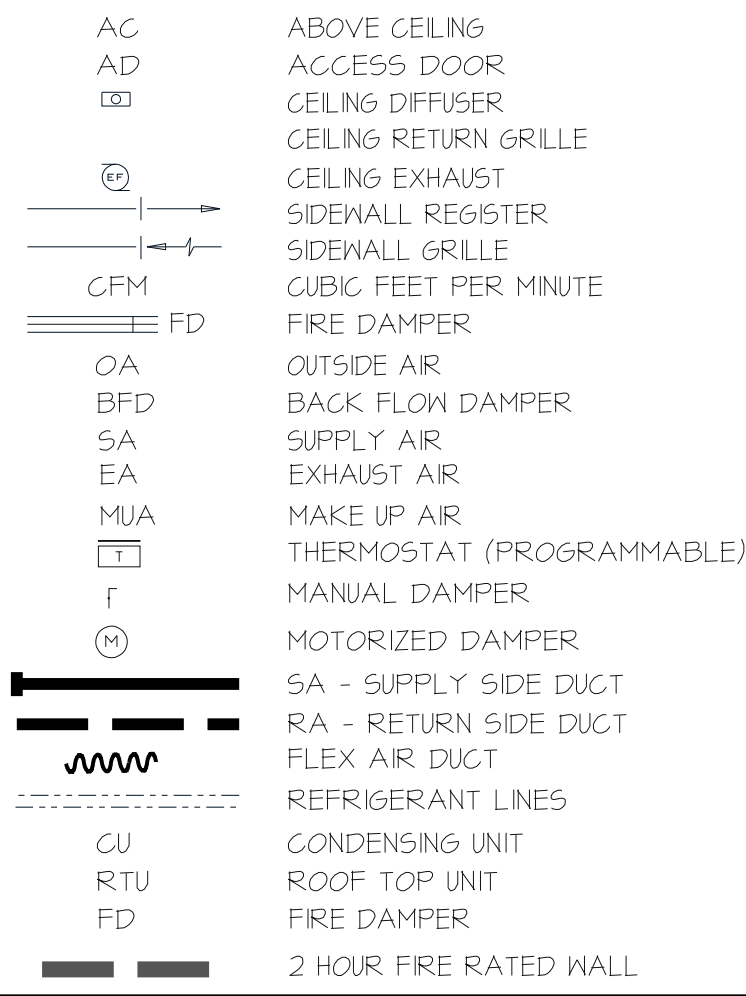
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HVAC SYMBOL LEGEND



OUTSIDE AIR COMPLIANCE CALCULATIONS

1. THE DESIGNER HAS REVIEWED IBC SECTION 603, TABLE 603.3 AND IS PROVIDING OUTSIDE AIR IN ACCORDANCE WITH THE FOLLOWING FORMULA:
 $V_o = R_o P_o + R_A$
 $R_o = \text{Outside outdoor air rate}$
 $P_o = \text{Number People in the space}$
 $R_A = \text{Outside airflow rate}$
 $A = \text{Net area of space}$
 Note: See Sheet A003, A004, & A005 for Room Type to Room Number association/correction.
 BATHROOM AREAS EXHAUST AIR
 RESTROOMS - Single Fixture
 EXHAUST AIRFLOW RATE = 50cfm per Room
 HOTELS, MOTELS, RESORT AND DORMITORIES
 BEDROOMS/LIVING ROOMS
 AHU-1 (1124 sf)
 OFFICES
 $A_o = 1124sf, R_o = 5, P_o = 5.0 \text{ cfm/person}, R_A = 0.06 \text{ cfm/sf}$
 $V_o = (5.0 \times 5) + (0.06 \times 1124 \text{ sf})$
 $= 25 \text{ cfm} + 68 \text{ cfm}$
 $= 93 \text{ cfm (Total) O.A. required}$

NEW & EXISTING SPLIT SYSTEM HEAT PUMP UNIT SCHEDULE

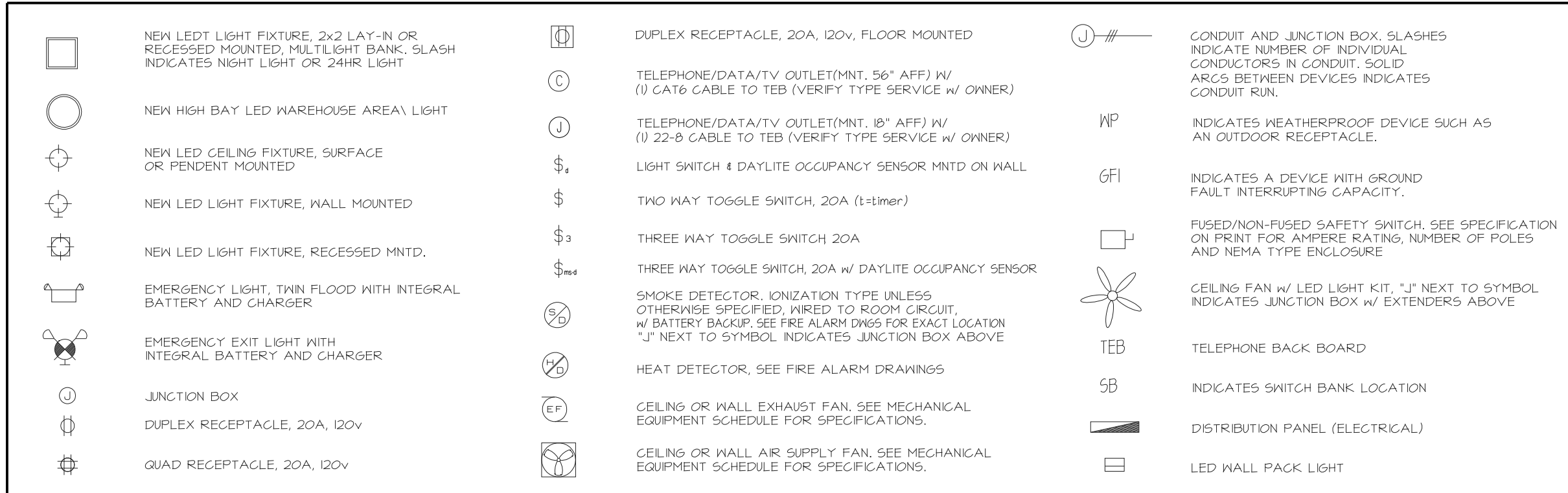
MARK	NEW OR EXISTING	INDOOR UNIT						OUTDOOR UNIT						REMARKS							
		NOMINAL CAPACITY	MIN. O.A. CFM	HP	TOTAL CAPACITY BTU/HR	TOTAL CAPACITY BTU/HR	MODP	MCA	VOLTS/PHASE	EFFICIENCY	MARK	NEW OR EXISTING	NOM. CAP. TONS		MIN. CIRCUIT BREAKING AMPS PROTECT.	MAX. VOLTAGE	LIQUID SUCTN				
AHU1	EXISTING	800	10	3/8	1/2	56	204	48,000	—	—	120V/1P	EER = 8.0	GH	EXISTING	20	—	208V/3P	3/8"	3/4"	HEIGHT = 880/800	
AHU2	NEW	1000	13	3/8	1/2	56	204	48,000	5-20	45-5	208V/3P	EER = 8.0	GH	NEW	40	30-40	40-40	208V/3P	1/2"	3/8"	HEIGHT = 280/185

NOTE: ALL UNITS DESIGN BASED ON TRANE CORPORATION UNITS, CARRIER, ETC. BY BE USED
 1. PROVIDE & INSTALL FILTER RACK AND FILTERS.
 2. REFRIGERANT PIPING SIZES SHALL BE VERIFIED W/ MANUFACTURER'S RECOMMENDATIONS.
 3. PROVIDE OUTSIDE AIR PER COMPLIANCE NOTE BELOW.
 4. PROVIDE SMOKE DETECTORS TO SHUT DOWN THE FANS IN THE EVENT OF SMOKE AND FIRE WHERE REQUIRED OR F TOTAL CFM OF UNIT > 2000 CFM.
 5. PROVIDE PROGRAMMABLE THERMOSTAT
 6. INSPECT EXISTING SYSTEMS FOR OPERATION AND REPLACE IF NECESSARY.
 7. VERIFY EXISTING EXISTING SYSTEMS ARE HEAT PUMPS OR GAS HEAT (VERIFY)
 8. COORDINATE ELECTRICAL CHARACTERISTICS WITH ELECTRICAL CONTRACTOR.

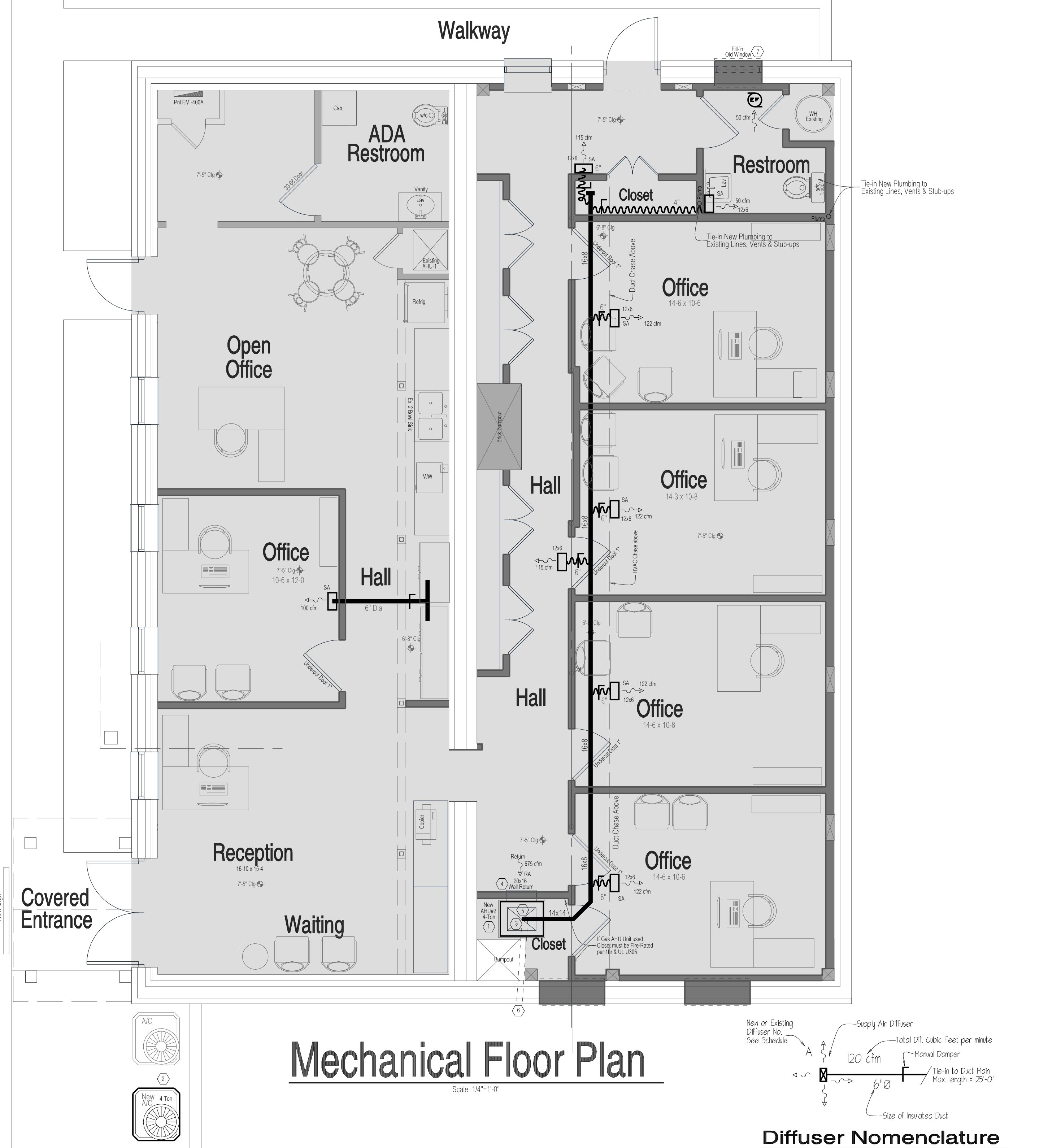
CODED NOTES

- INSTALL AIR HANDLER UNIT ON CONCRETE SLAB PER IBC LIMITATIONS & REQUIREMENTS; PROVIDE DRAIN PAN AND CONDENSATE DRAIN W/ TRAP FROM UNIT & RUN PIPE HEADER TO NEAREST CONDENSATE DRAIN. PLACE UNIT ON FLOOR OR ON RETURN AIR BOX.
- RUN REFRIGERANT PIPING BETWEEN A/C UNIT IN WALL TO CORRESPONDING CONDENSING UNIT LOCATED ON PAD OUTSIDE. FIELD VERIFY EXACT ROUTINGS. FOR SIZES REFER TO SCHEDULE ON M-2. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- MOTOR OPERATED DAMPER, INTERLOCK WITH ASSOCIATED AHU.
- PROVIDE SMOKE DETECTOR IN RETURN AIR DUCT OF EACH AHU. THIS ITEM FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.
- OUTSIDE AIR DUCT DOWN TO AGU UNIT. CONNECT TO RETURN AIR FLENUM DOWN STREAM OF SMOKE DETECTOR. PROVIDE VOLUME AND MOTORIZED DAMPER.
- OUTSIDE AIR HOOD SHALL BE LOREN LOOK PR & SFM ALUMINUM VENT. THROAT SIZE = 14/2" Dia. OR OTHERWISE NOTED. HOOD 18 1/4" DIA. ROOF OPNG = 8 1/2" x 7" BACKDRAFT DAMPER. WEIGHT = 106 lbs. HEIGHT ABOVE ROOF = 8'0" (VERIFY LOCATION WITH ROOFING CONTRACTOR)
- RESTROOM VENT & HOOD HOOD W/ INSECT SCREEN & BACKFLOW DAMPER.

Electrical Symbols

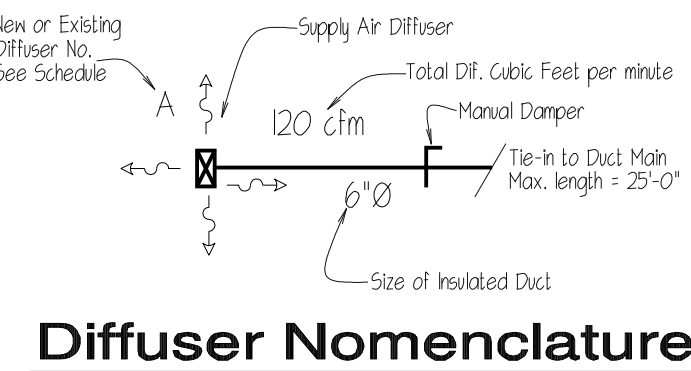


- All 125-volt, single phase, 15- and 20-ampere receptacles installed in the locations specified in 210.8(5)(1) through (8) shall have ground-fault circuit-interrupter protection for personnel, installed in readily accessible locations.
- Receptacles installed in wet locations, wash-down areas, and required to have enclosures & covers that provide weatherproofing - extra duty covers NEC 406.9

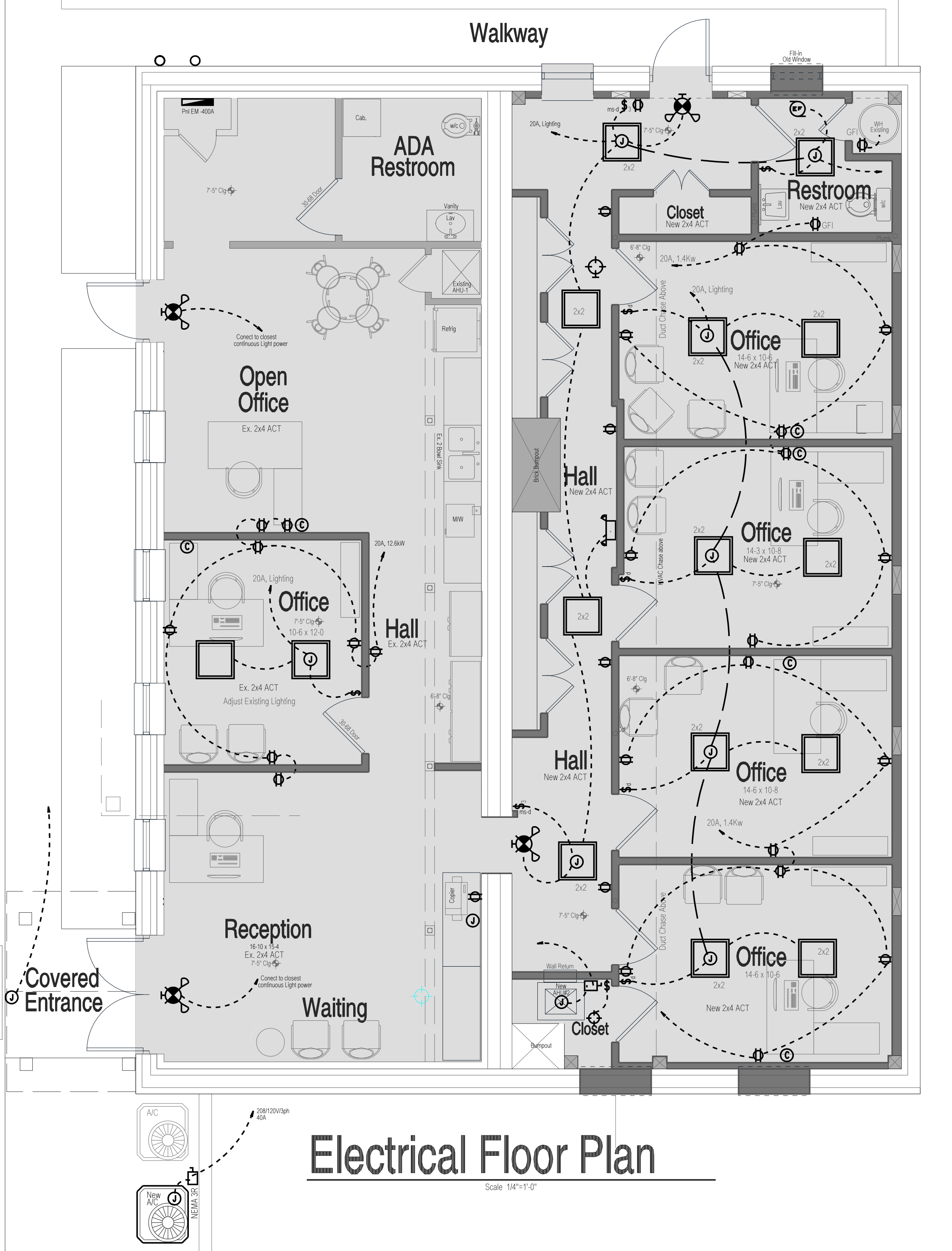


Mechanical Floor Plan

Scale 1/4"=1'-0"



Diffuser Nomenclature



Electrical Floor Plan

Scale 1/4"=1'-0"

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Project Name

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